



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

August 2, 2024

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator



Cleveland City Planning Commission

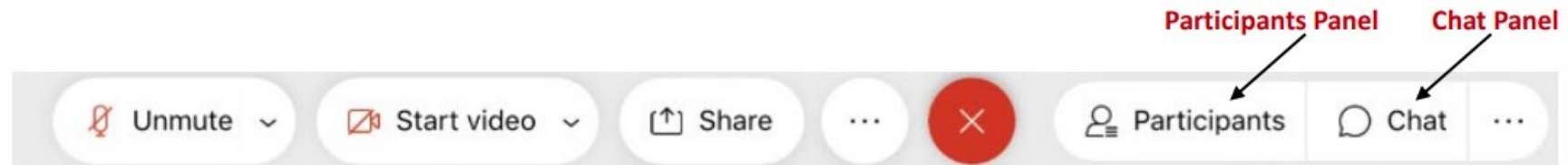
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. RECUSALS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE. IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



August 2, 2024

Cleveland City Planning Commission

Preamble

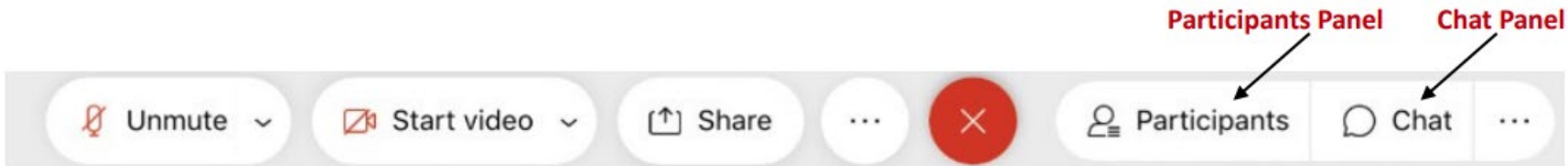
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WebEx PLATFORM. THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YouTube.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER SUBMITTED THROUGH PROPER CHANNELS HAVE BEEN CONSIDERED. WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER. PROPER CHANNELS FOR COMMENTS ARE LISTED BELOW.

COMMUNICATION WITH MEMBERS OF THIS BODY MUST FOLLOW PROPER CHANNELS FOR CONSIDERATION. ANY COMMENTS RECEIVED BY THE **WEDNESDAY 12:00 PM** DEADLINE ARE COLLECTED BY CITY PLANNING STAFF AND DISSEMINATED TO THE COMMISSION MEMBERS PRIOR TO ANY SCHEDULED MEETING.

Proper channels for public comment:

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



Cleveland City Planning Commission

Meeting Rules and Procedures

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission, in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Committee recommendations and any public comments received.
- The deadline for public comments is noon on the Wednesday prior to any regularly scheduled City Planning Commission meeting and will be read into the record. Any comments received by the deadline are distributed to Commission members prior to the meeting through Dropbox. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

Lillian Kuri, Chair

August 2, 2024

August Fluker, Vice Chair

Charles Slife, Council Member

Dr. Denise McCray–Scott

Erika Anthony

Andrew Sargeant

Isabella McKnight

Cleveland City Planning Commission

Call to Order and Roll Call



CITY OF CLEVELAND
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Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

Cleveland City Planning Commission

Lot Consolidations/Splits



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

Lot Consolidations/Splits

For PPN# 016-24-098

August 2, 2024

Addresses: 3519 West 46th Street & 4520 Bush Avenue

Presenter: Anthony Taylor, Brick Rehab

3519 w 46th St Lot Split

City planning commission

7-8-2024

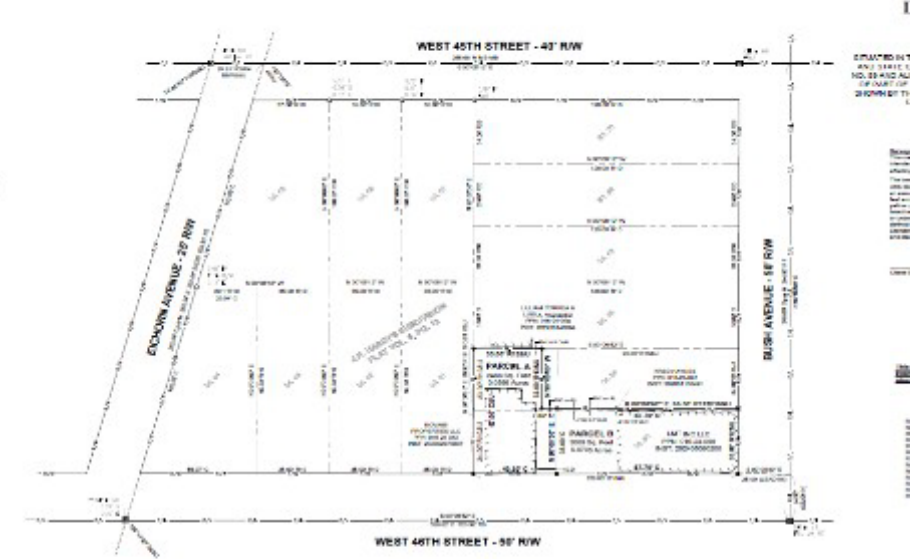
Proposed Lot Split on 3519 W 46th st

- Lmt Inc LLC purchased 3519 W 45th St in early May 2024
- Lmt doesn't occupy the unit they are occupied by tenants
- The plan is split 4520 Bush Ave lot and 3519 W 45th st into two separate parcels



Proposed Split

- 3519 W 46th would gain additional 350 sq ft for total
- 2466 sq ft for the lot
- This would give the house an opportunity to install a c
- 4520 Bush Ave wouldn't gain any sq ft but lose 350 sq
- ft from the back yard for total of 3069 sq ft of lot space



LOT SPLIT PLAT FOR LMT INC LLC

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA
AND STATE OF OHIO AND KNOWN AS BEING PART OF SUBLOT
NO. 59 AND ALL OF SUBLOT NO. 60 IN J.H. HARDY'S SUBDIVISION,
OF PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NO. 45, AS
SHOWN BY THE RECORDED PLAT IN VOLUME 6 OF MAPS, PAGE
13 OF CUYAHOGA COUNTY RECORDS.

Owners Acceptance:

I, the undersigned owner of the land shown hereon, do hereby accept the lot split plat shown.

(Print name below) LMT INC LLC Representative Date _____

Witness:

County of Cuyahoga
State of Ohio 3/25

Before me, a notary public in and for said county and state, personally appeared the above named, acknowledge the making and signing of the foregoing instrument and that the same were that free act and deed, in witness whereof I have hereunto set

my hand and official seal of _____ Ohio this _____ day of _____, 2024.

Notary Public _____

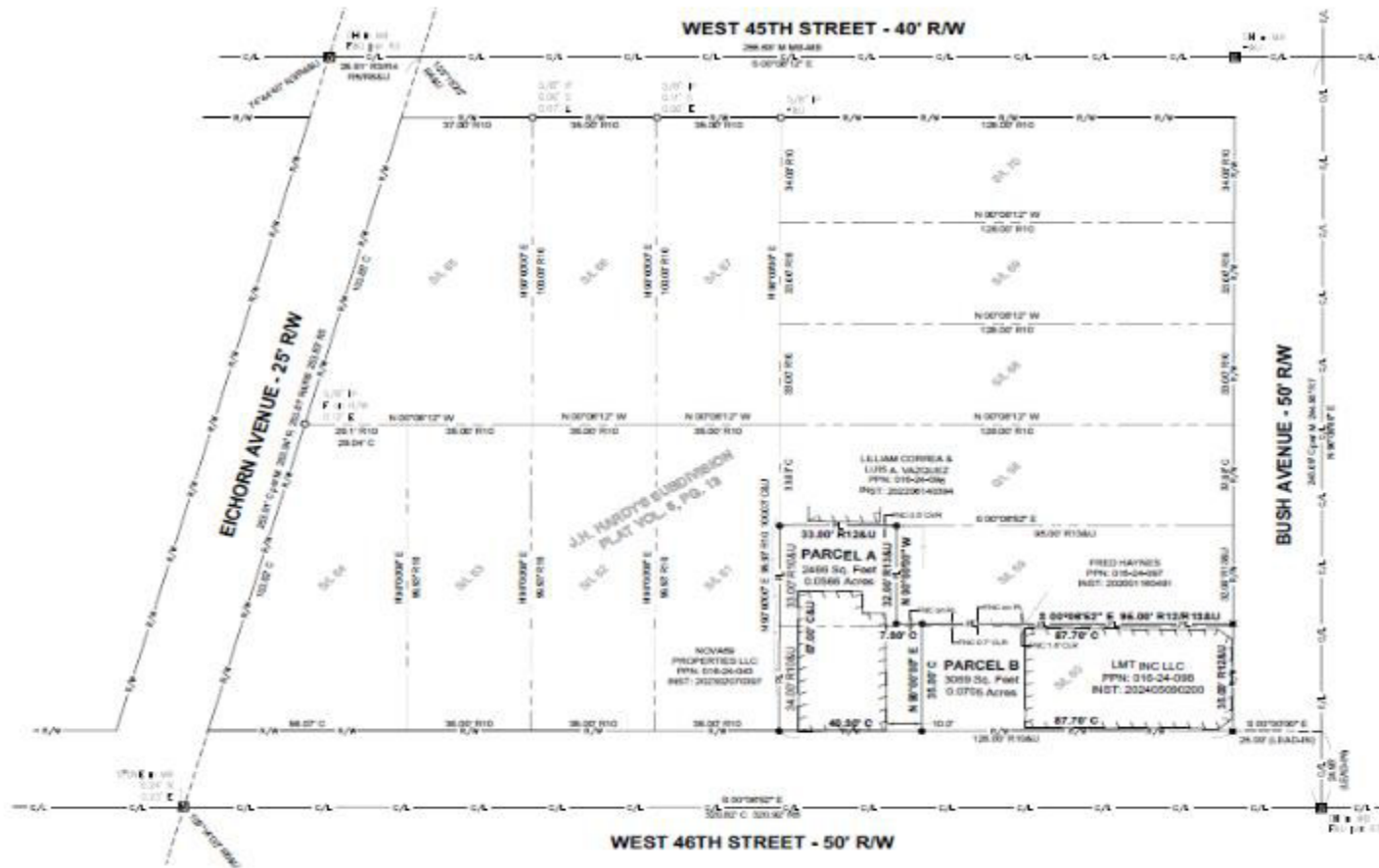
Approvals:

This lot split and plat are accepted & approved by the Planning Director of the City of Cleveland, Ohio this _____ day of _____, 2024.

Joyce Pan Huang - Planning Director

This lot split and plat are accepted & approved by the Planning Commissioner of the City of Cleveland, Ohio this _____ day of _____, 2024.

Richard Decker - Planning Commissioner



Surveyor's Notes & Basis of Bearings:

This map was prepared without the benefit of a Title Report and is not intended to reflect easements, encroachments, or other facts affecting the title to the property shown hereon.

The basis of bearings for this survey, as shown, is the meridian of W 45th Street, as defined by the municipality shown hereon, and as to an assumed meridian used to derive angles only. Distances are in feet and decimal parts thereof. All lot area are 50' x 20' total with a yellow iron installed 'S'CC Surveying P.S. 8000'. References used are listed hereon. This map was prepared from a survey performed by me or under my direction in May, 2024, and meets the requirements defined in Chapter 4703.07 of the Ohio Revised Code, Minimum Standards for Boundary Surveys. This map is not valid unless signed and stamped by Surveyor.

Chris Commons, P.S. 8000

This map released prior to corner monuments having been set. A revised map will be released if data/monuments cannot be set as shown.

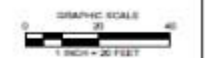
References:

- #1 Cuyahoga County GIS.
- #2 Cuyahoga County Tax Map 15, Page 24
- #3 City of Cleveland Survey Record 37, Pages 180-181
- #4 City of Cleveland Survey Record 43, Pages 45-47
- #5 City of Cleveland Survey Record 44, Page 115
- #6 City of Cleveland Survey Record 48, Page 117
- #7 City of Cleveland Survey Record 50, Pages 69-68
- #8 City of Cleveland Survey Record 57, Pages 126-127
- #9 City of Cleveland Survey Record 77, Pages 124-125
- #10 J.H. Hardy's Subdivision Plat Volume 6, Page 13
- #11 Millard Court Subdivision Plat Volume 273, Page 62
- #12 Subject land as shown.
- #13 Adjoining deeds as shown.

- Copied from Plat Set
- Iron Stake Set
- Iron Pin (IP) Found as Noted
- Monument Box (MB) Found as Noted
- CL ----- Easement
- RL ----- Record Property Line
- RLW ----- Right of Way (ROW) Line
- RL ----- Subject Property Line (PL)
- FL ----- Fence Line

Standard Abbreviations	
APN - Automatic File Number	M - Measured
C - Calculator	Over - Over the PL
CL - Contour	PL - Property Line
CLR - Clear of the PL	P - Plat
CSR - City Survey Record	PPN - Permanent Parcel Number
D - Deed Record	R - Record Distance
DOC - Document Number	R/W - Right-of-Way
F - Faint	SL - Sublot
HST - Instrument Number	U - Used

Deed/Plat Data			
Number	Date	Instrument/Plat	Description
24025	03/25/24	CE	24025 Lot Split



3519 W 46th street Shot



4520 Bush & 3519 W 46th Areil Shot



4520 Bush & 3519 W 46th Aerial Shot



3519 W 46th street Shot





3519 W 46th & 4520 Bush Separated meters



3519 W 46th Street Shot

Site Plan for 3519 W 46th St & 4520 Bush rd.

- Both houses are on one parcel and want to have split so that it can be sold as separate property in the near future
- There is separate water meter and gas and electric for both parcel
- There is enough space for backyard and entry on both parcel in the event of fire or emergency



Question?

Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

Near West Design Review

**NW2024-xxx – Three-story Apartment Building New Construction:
Seeking Schematic Design Approval**

August 2, 2024

Project Address: 2032 West 26th Street

Project Representative: Wes Harper, Horton Harper Architects

Ward 3- Councilmember McCormack | SPA: Ohio City

2032 West 26th Apartments

Cleveland, OH
December 29, 2023

AHARNEYHOUSELLC

HORTON **1-1-1** HARPER
ARCHITECTS



Site Location Map
n.t.s. 





Context Photos
View of site looking SW



Context Photos
W 26th Street Looking South from Lorain Avenue



Context Photos
W 26th Street looking North



Context Photos
View of Site looking
West



Context Photos
W26th & Keene Court Looking South



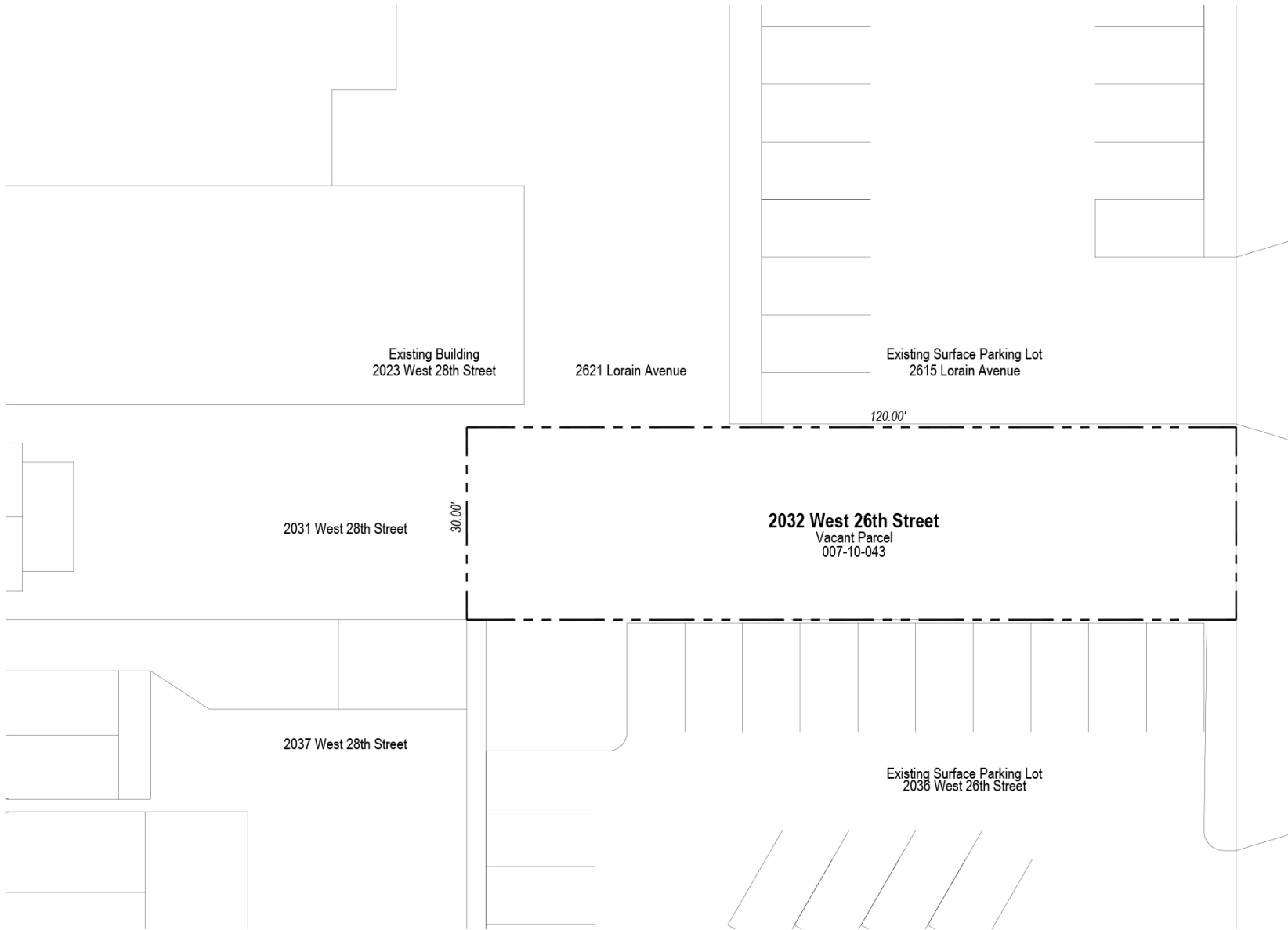
Context Photos
W26th Looking North from Keene Court



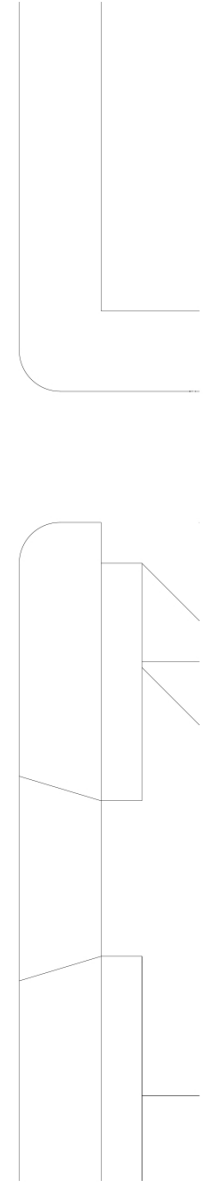
Context Photos
View of parking lot and buildings across street from site



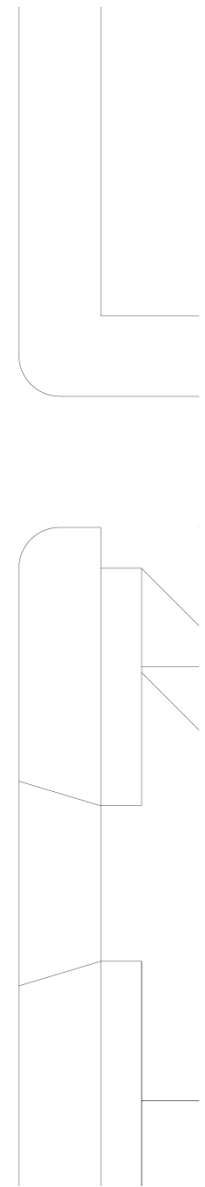
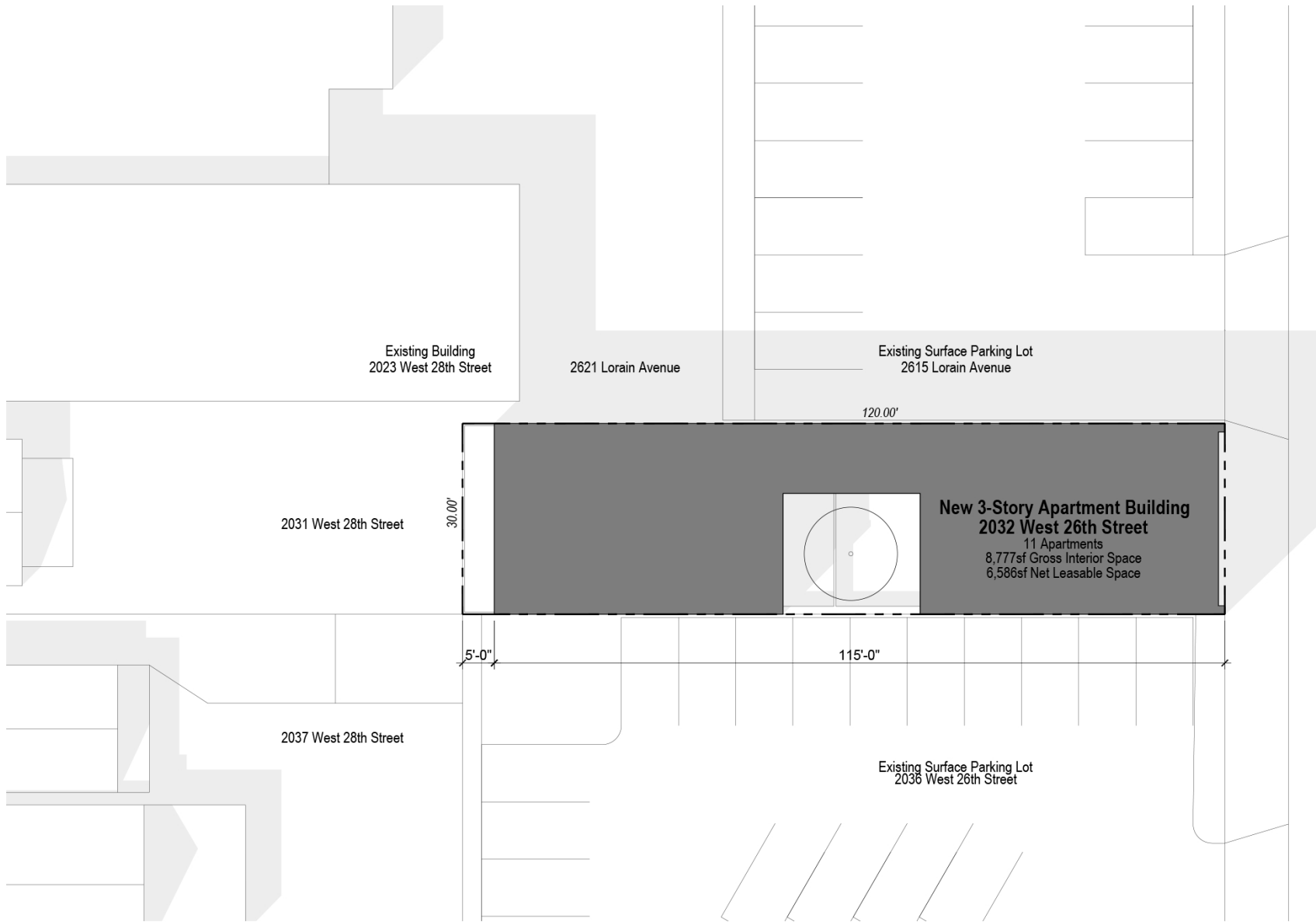
Context Photos
View from corner of 26th street and Lorain Avenue




WEST 26TH STREET



Existing Site Plan
Scale: 1/16" = 1'-0" 



Site Plan
Scale: 1/16" = 1'-0" 



View 1
View of east facade



View 2
View looking at east and south facades



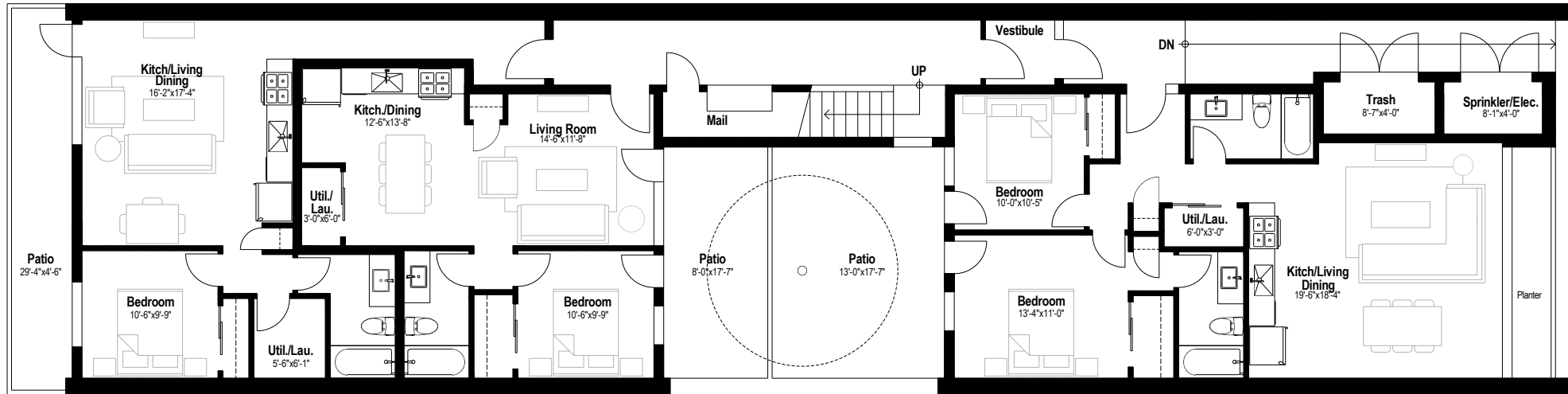
View 3
View of east and north facades



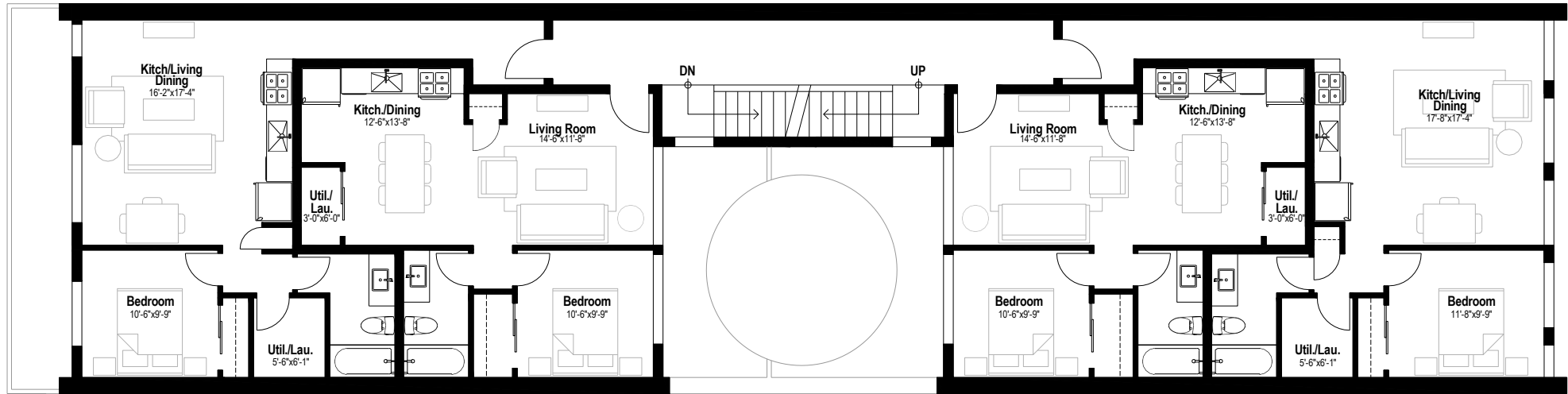
View 4
View of east and south facades



View 5
View of south facade



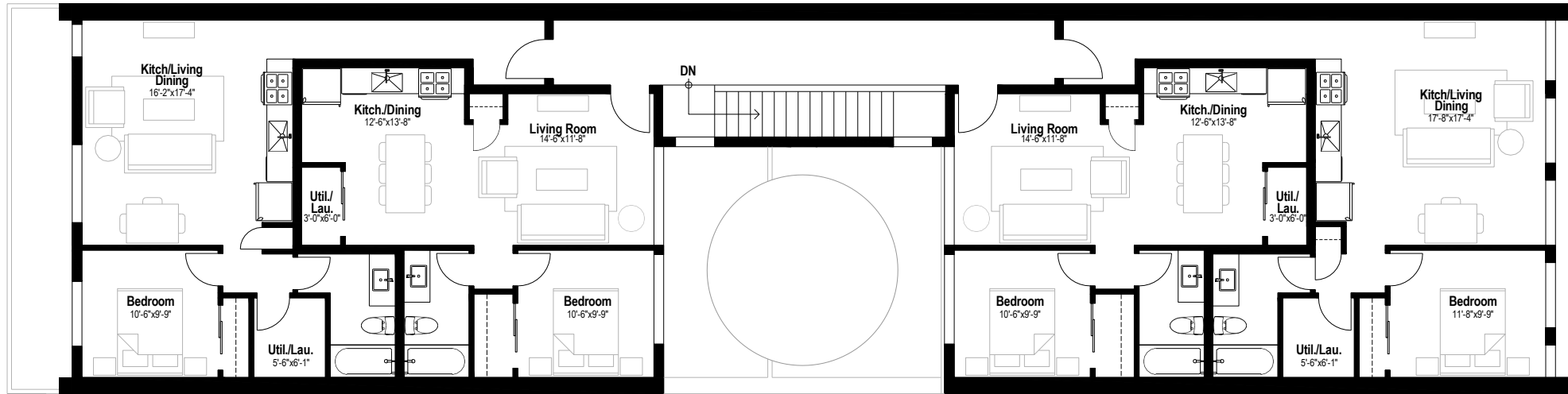
First Floor
 Plan 
 Scale: 1/8"=1'-0"



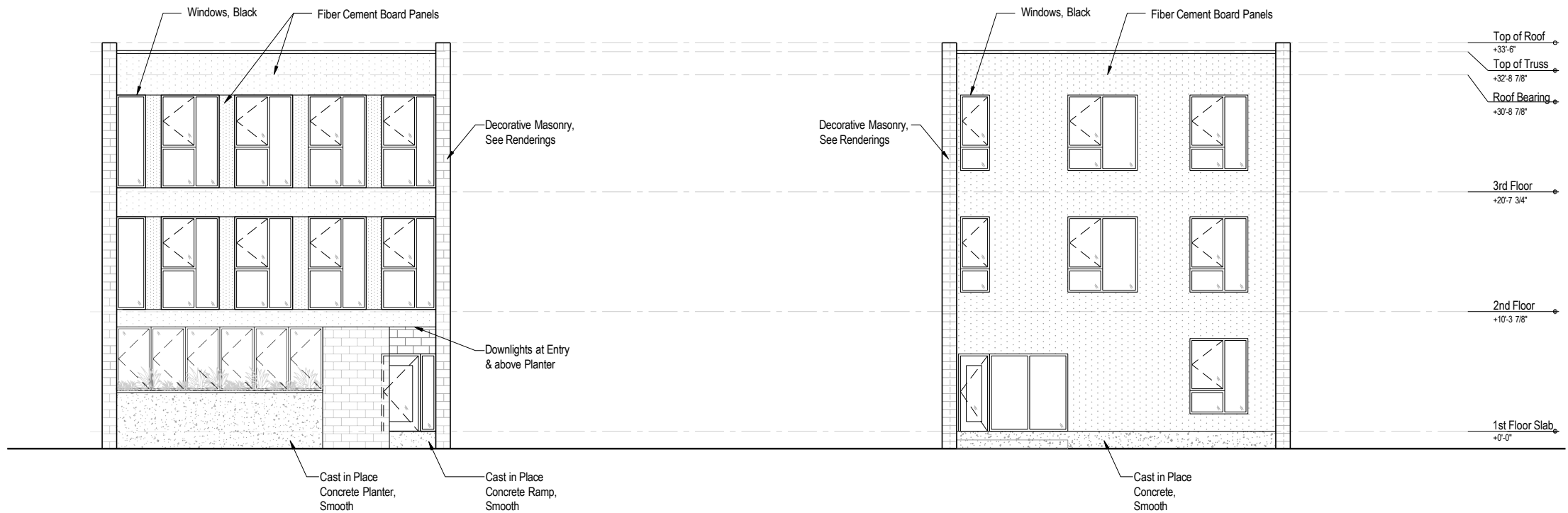
Second Floor
Plan

Scale: 1/8"=1'-0"





Third Floor Plan
 Scale: 1/8"=1'-0" ↻



East Elevation

West Elevation

Elevations

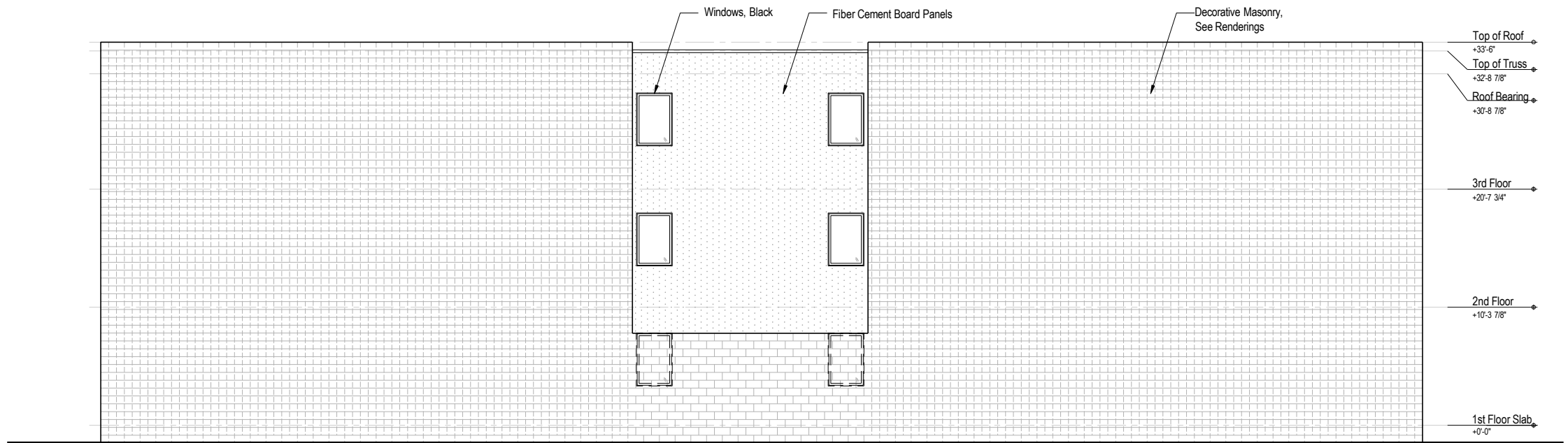
Scale: 1/8"=1'-0"



North Elevation

Elevation

Scale: 1/8"=1'-0"



South Elevation

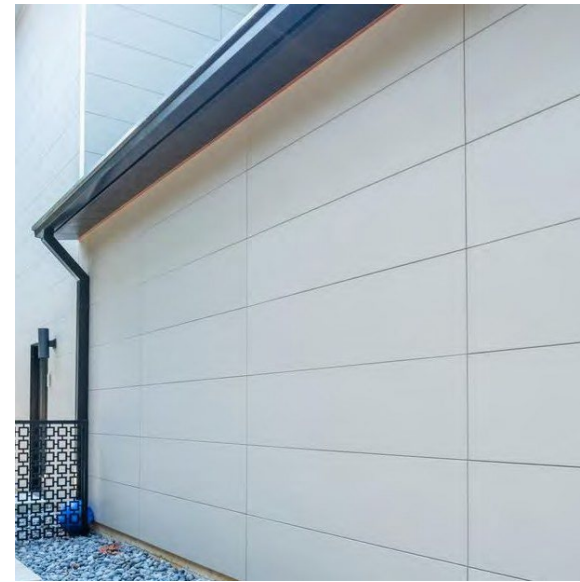
Elevation
Scale: 1/8"=1'-0"



Decorative masonry, alternating colors



Cast in place concrete foundation



Fiber cement board panel cladding, gray



Various plantings with lighting



Window frames, dark bronze

LEGEND

PLANTINGS

- AJ - Blue Arrow Juniper (Juniperus Scopulorum) in elevated planting bed
- WB - European White Birch (Beua Penula)
- BT - Existing 22" DBH Buckeye Tree to be removed, refer to professional tree plan

Note: Planting bed shall have 3" deep mulch or washed pebble over landscaping fabric. For tree plantings in areas of pavement, provide 5'x3' planting area and 3" deep mulch or pebbles over landscaping fabric.

LIGHTING

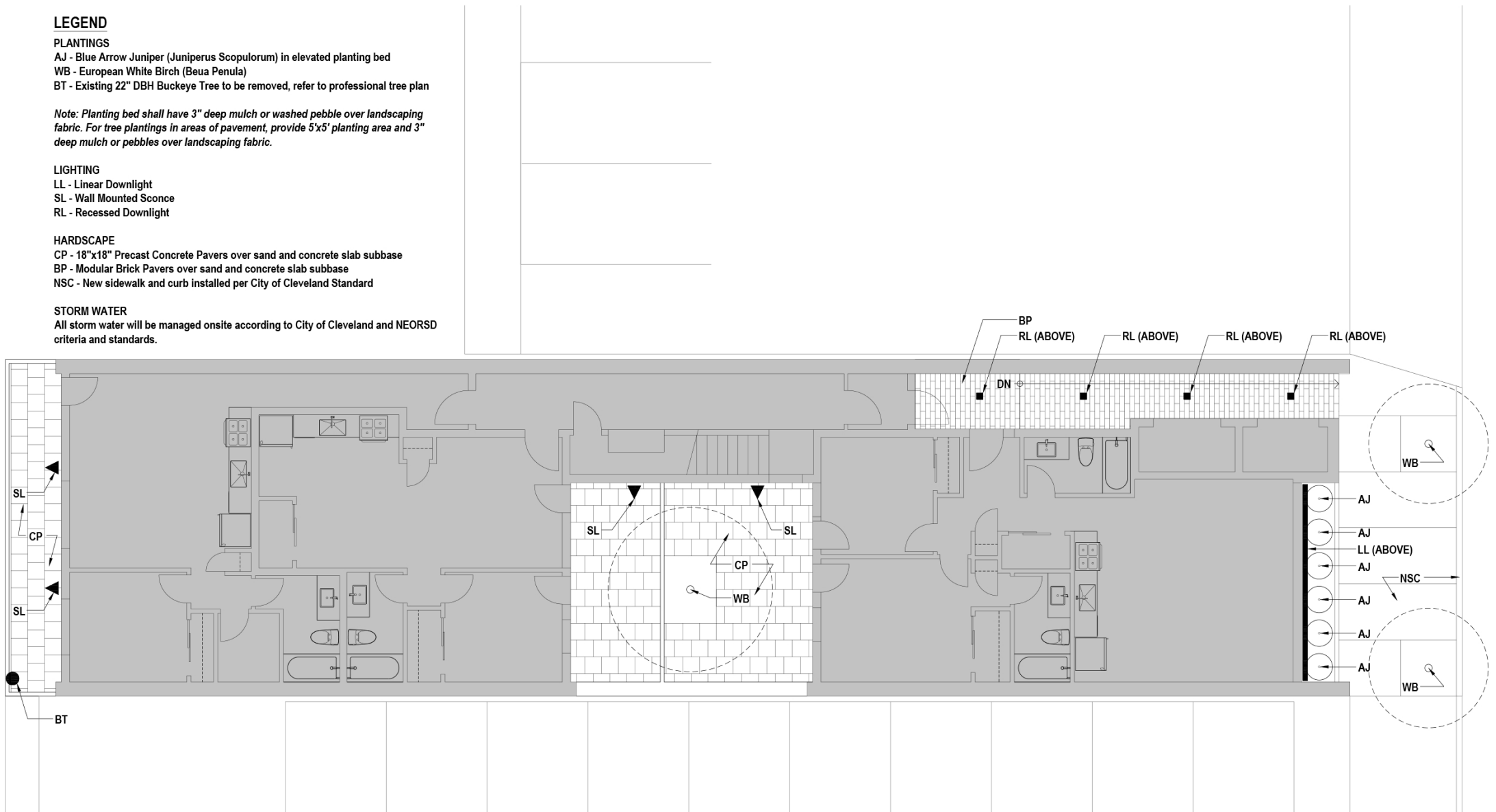
- LL - Linear Downlight
- SL - Wall Mounted Sconce
- RL - Recessed Downlight

HARDSCAPE

- CP - 18"x18" Precast Concrete Pavers over sand and concrete slab subbase
- BP - Modular Brick Pavers over sand and concrete slab subbase
- NSC - New sidewalk and curb installed per City of Cleveland Standard

STORM WATER

All storm water will be managed onsite according to City of Cleveland and NEORSD criteria and standards.



Landscaping & Preliminary Tree Preservation Plan

Scale: 1/8"=1'-0"

John Palmer
ISA Board Certified Master Arborist®
ISA Tree Risk Assessment Qualified
#OH-6319B
Cleveland, OH USA

December 29th, 2023

Westleigh Harper

HORTON HARPER ARCHITECTS
The Caxton Building
812 Huron Road E, Suite 305
Cleveland, Ohio 44115

Westleigh,

Here is my inventory and assessment of the trees at the multiple properties you requested.

I visited the sites on December 27th 2023. I walked as much of the sites as was safely available to me to inventory the necessary trees. For trees I was unable to get close enough to, I estimated their size and species. There were homes and businesses near some of the trees and I didn't want to be seen as a trespasser. If a more detailed examination of them is necessary, I'm happy to go back with the proper permissions and assess them. With the leaves being off most of the trees, those I viewed from a distance made it harder to determine what the exact species was.

Since this is the dormant season, tree ID can be difficult with only buds, bud scars, and trunk texture to use for identification, plus in most tree species there is a difference between immature and mature bark. Tree ID was made to best of my ability and knowledge.

As with most Cleveland properties, there are a lot of invasive or undesirable tree species on the site.

Here is how I would categorize the trees on the sites (not city owned) by species.

Siberian Elm – Non-native, invasive and not desirable
Mulberry – Native, vigorous, aggressive growing root system, not desirable
Tree Of Heaven – Non-native, vigorous grower, invasive, not desirable
Crabapple – Native, ornamental, desirable especially in small spaces
Silver Maple – Native, fast grower, often poor structure, weak wood, not desirable.
Buckeye – Native, slightly messy, desirable in the right location
Cottonwood – Native, aggressive grower, messy, can grow quite large, acceptable in the right location

Most of the trees inventoried were either classified as non-native or "invasive", or an undesirable species, and not listed on the "Species Selection Matrix" published by the City of Cleveland in the Cleveland Tree Plan. (Appendix A, A Guide for Species Selection, 2015)

Trees with "co-dominant" trunks were classified by DBH of each individual trunk (where possible), and listed accordingly. I believe that to be the best way to most consistently categorize them. All trees were evaluated and assessed according to ANSI A300 Arboricultural industry standards and BMP's.

My inventory of the trees is as follows: (DBH = Diameter At Breast Height)

Property

2032 W. 26th St.

This property has one tree on it, if the property extends all the way to the garage. It was unclear to me where the property line to the west was located.

1 - 22" DBH Buckeye (could not get close enough for an exact measurement)

If the tree is on the property, it has a significant lean to the south, and is already contacting the garage next to it. Regardless of the species, it is not a desirable tree, with a high likelihood of failure, and should be removed.

Trees that are below 4" DBH, are not included in this survey, as well as brush.

Additionally, since tree roots grow laterally and not deep, and can grow 2 to 3 times the diameter of the "drip line" of the canopy, any trees remaining near construction work, may have existing roots damaged or cut and as a result, and could then be more prone to failure after losing a portion of their root system. Research done by Bartlett Research in N. Carolina (Tom Smiley) indicates that "tension" roots, growing in the direction of the prevailing wind, are the most important roots for tree stability. Any trees remaining that have these tension roots cut or damaged may be more likely to experience decline and destabilization.

Any trees remaining that have surrounding soil compacted or destroyed by the construction process, may no longer be able to develop roots into the surrounding soil to help the tree rebound from the construction process. Research shows that soil compacted to greater than 80% Proctor density, will become impenetrable to roots. This "root limiting bulk density" should be determined and measured before considering leaving any trees on or near a construction site.

And, finally, hydrology is important for any remaining trees. Most trees have grown in a specific hydrologic profile for decades. Any change to that profile (how and where that water moves) can be detrimental to existing tree health. Caution should be used around any remaining trees.

Thank you again for allowing me some small input into this project. If I can be of additional assistance, just let me know.

A handwritten signature in black ink, appearing to read 'John Palmer', with a stylized flourish at the end.

John Palmer
ISA Board Certified Master Arborist (#OH 6319B)
ISA Tree Risk Assessment Qualified (TRAQ)
Consultant. Lecturer. Author. Trainer.
Past Marketing Chair, Ohio Chapter of ISA
Ph: 440.227.8158

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024



Near West Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 8:00 AM

Case Number: NW 2024-012 Meeting Date: July 24th, 2024
 Project Name: 2032 W 26th Apartments Ward #: 3
 Project Address: 2032 W 26th
 Project Rep.: Westleigh Harper
 Existing Use: New Construction Proposed Use: Residential
 Project Scope: New 11-Unit development

Design Review Level Applied For: Schematic Approval

Motion by Design Review Committee:

Approve (as presented) Approve (with stated conditions) Disapprove Table

Conditions:

1st Pasquale; 2nd John G

Recommendations to study alternative masonry opportunities or variation to add depth, add additional lighting as well as show placement and types, add landscaping

Committee Action: (1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)

Contreras	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Madera	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Esposito	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Rakaukas	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Gallagher	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Sandoval	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.
Gardin	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.	Schmidt	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Hart	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Jurca (C)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input checked="" type="checkbox"/> Pres.		

Applicant Signature & Date: _____ Virtual Meeting – No Signature Required

Cleveland City Planning Commission

Euclid Corridor Buckeye Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

ECB2024-017 – CWRU Humanities Building massing study: Seeking Conceptual Approval

August 2, 2024

Project Address: 11333 Bellflower Avenue

Project Representative: Michael Bruder, CWRU

NEW HUMANITIES BUILDING

Conceptual Design Review

Cleveland Planning Commission Meeting
August 2, 2024



CASE WESTERN RESERVE
UNIVERSITY

Long Term Vision for the Site

- CWRU purchased the land and structure in 2022 from Lamda Chapter Corp. with the intent to develop the land for university programming
- CWRU's 10-year campus master plan (in progress) will guide future development
- Prominent site envisioned to be more than just a parking lot
- Site is envisioned to consolidate the university's humanities programs into a single 100-150k square foot facility

Our Commitment to Positive Redevelopment

- Space for humanities programs are a high priority due to increasing enrollment and student needs
- CWRU is committed to the overall humanities project, but we are in the very early stages of development
- To date, CWRU has invested over \$100k in programmatic and conceptual design for a humanities building on this site

Design Drivers for a future Humanities Building

- Respect the existing context, scaling, and massing while positively contributing to the campus and community
- Enhance pedestrian connectivity to other parts of campus
- Replace current surface parking with an underground deck to support the area's parking needs



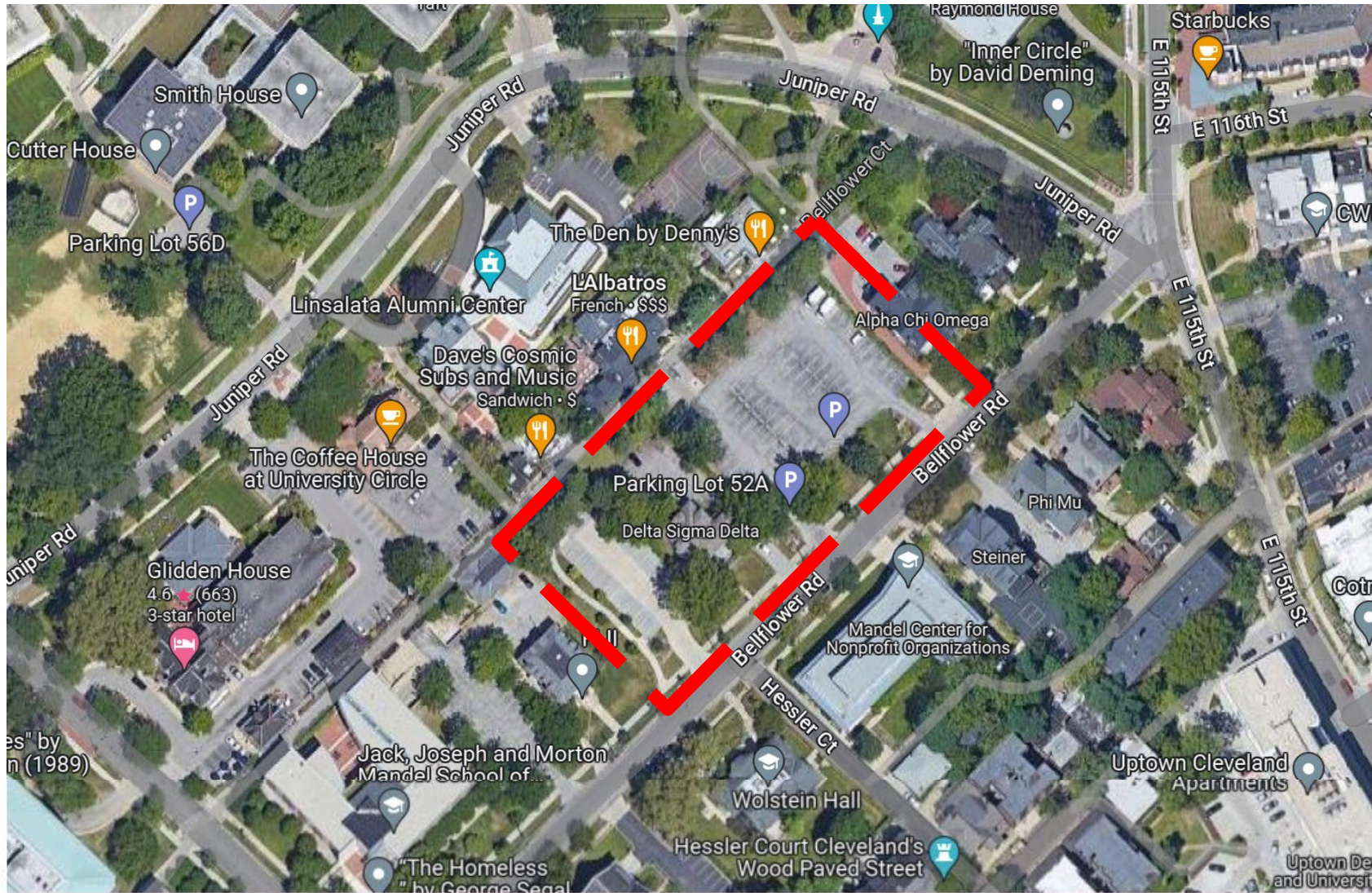
CASE WESTERN RESERVE
UNIVERSITY



CURRENT HUMANITIES LOCATIONS



PROPOSED CONSOLIDATED LOCATION



CASE WESTERN RESERVE
UNIVERSITY

11333 BELLFLOWER ROAD
SITE LOCATION

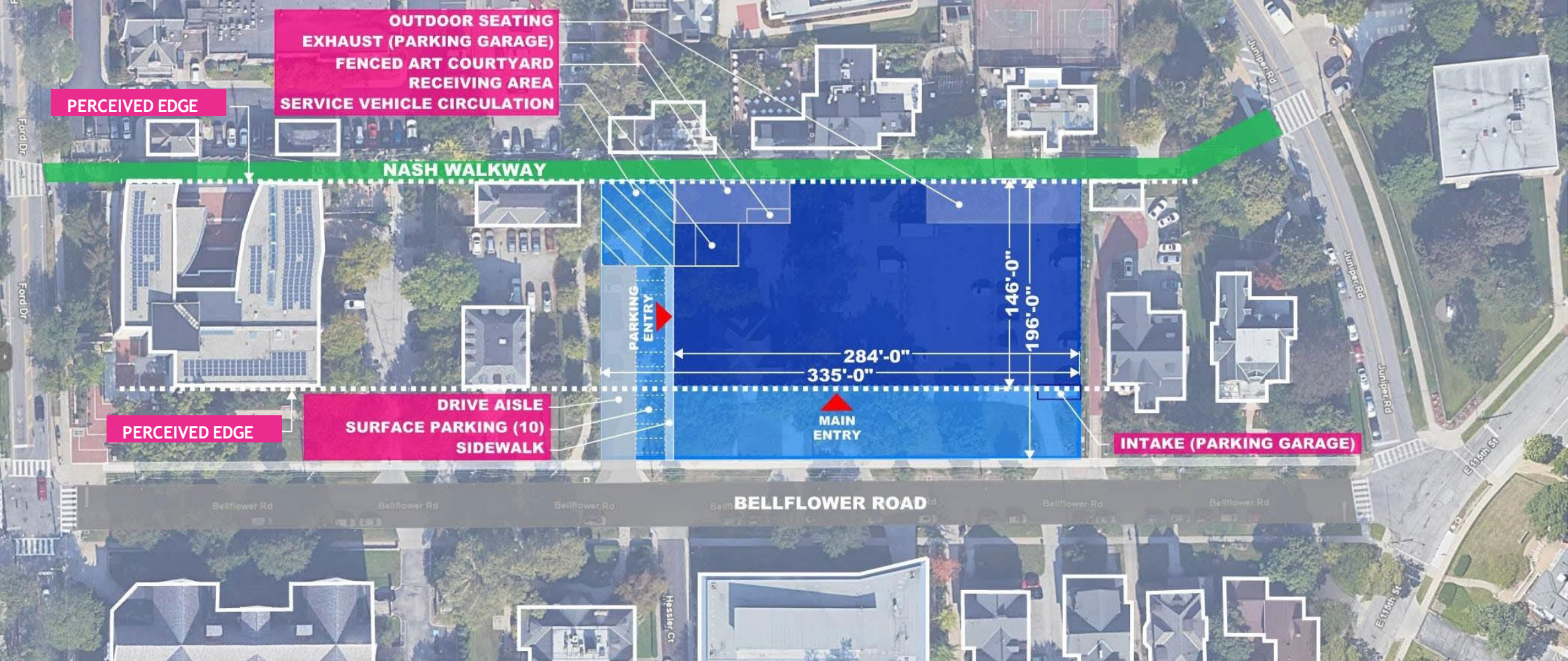


CASE WESTERN RESERVE
UNIVERSITY

11333 BELLFLOWER ROAD
SURROUNDING CONTEXT



CONCEPTUAL SITE DESIGN



PROPOSED INITIAL MASSING SUMMARY

AREA – 115,000 GSF

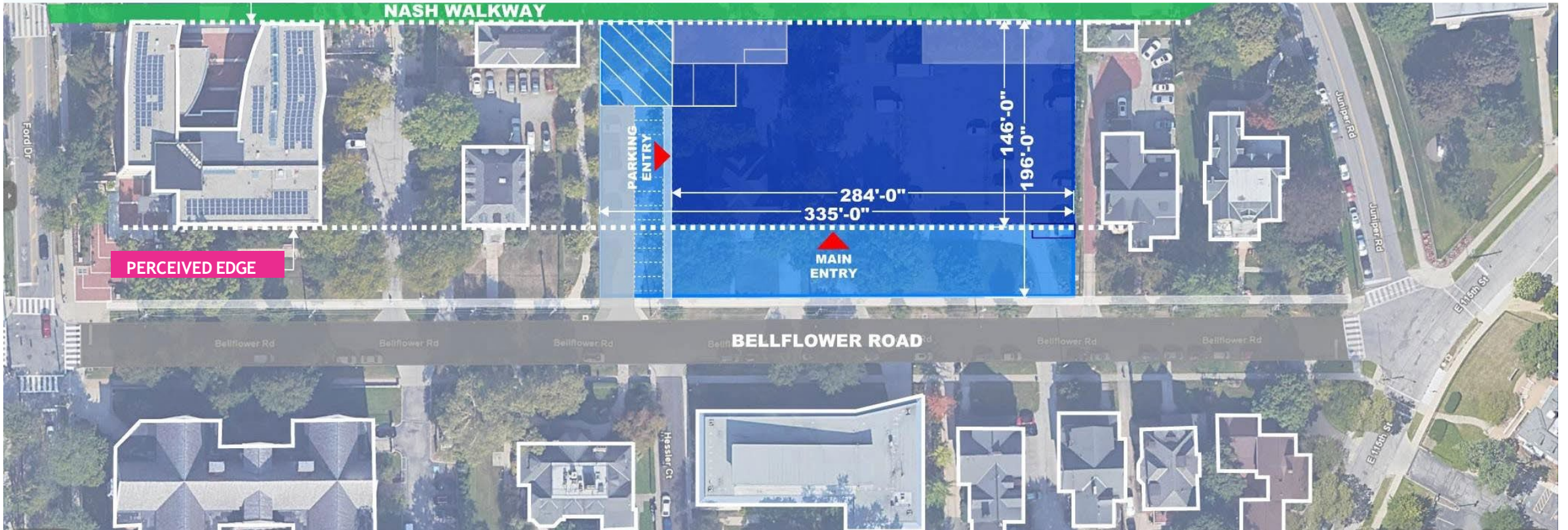
HEIGHT – 69'

PARKING GARAGE – 150 SPACES

SCALE - 3 FLOORS PROGRAMMABLE SPACE + PENTHOUSE

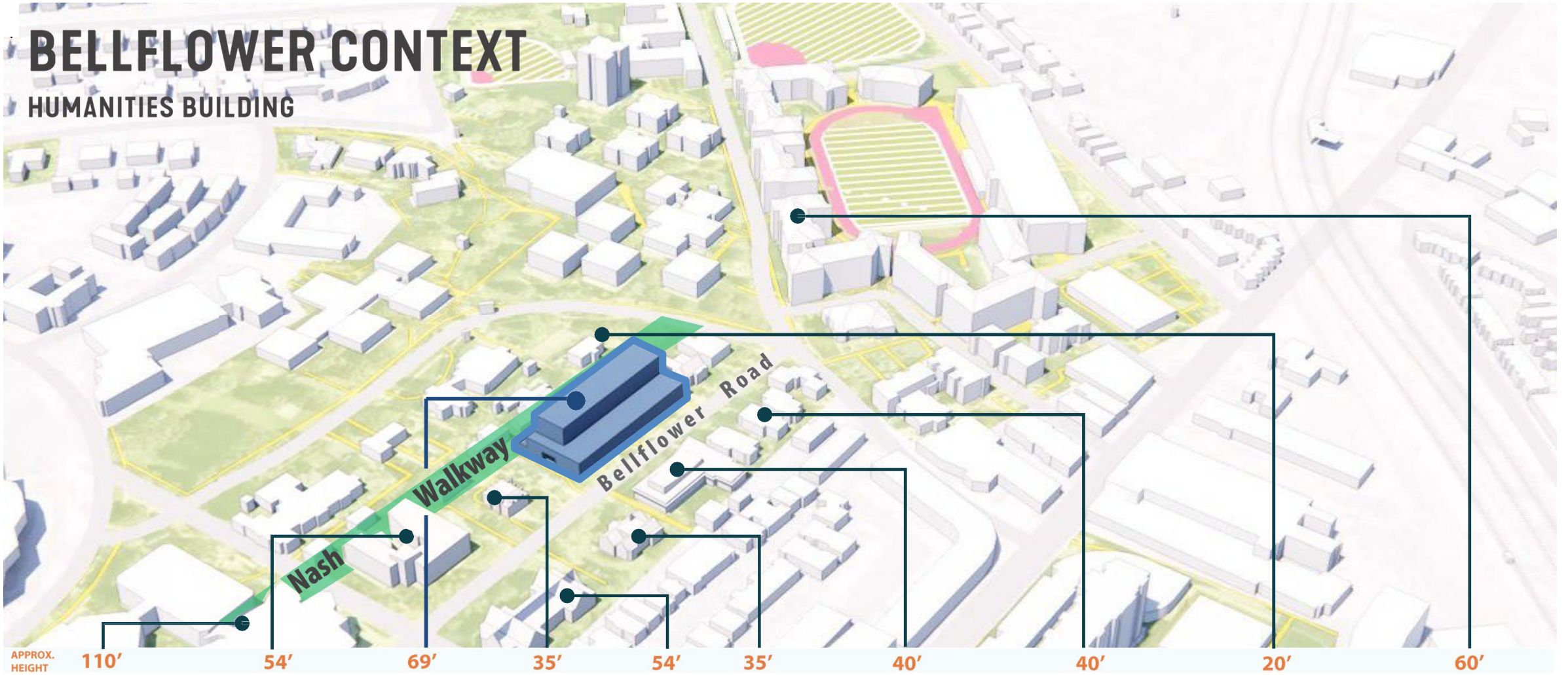
PROPOSED FLOOR TO FLOOR – 18' FIRST FLOOR, 15'-4" UPPER FLOORS

SURFACE PARKING – 10 SPACES



BELLFLOWER CONTEXT

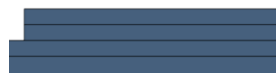
HUMANITIES BUILDING



Peter B. Lewis Building



School of Applied Social Sciences



Humanities Building



Fraternity House



George S. Dively Building



Admissions



Community Studies Center



Sorority Houses



Restaurants (historic carriage houses)

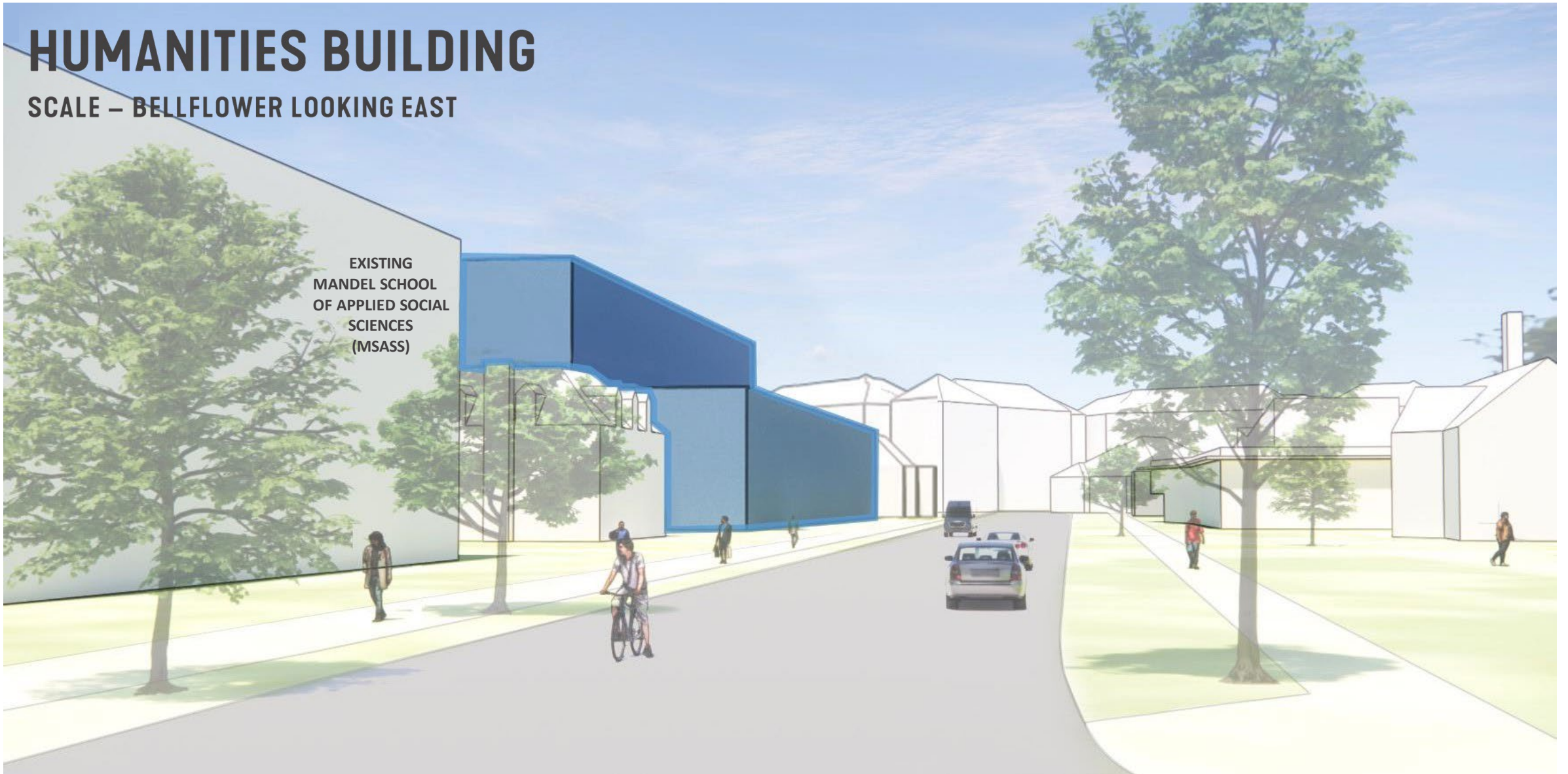


The Village

HUMANITIES BUILDING

SCALE – BELLFLOWER LOOKING EAST

EXISTING
MANDEL SCHOOL
OF APPLIED SOCIAL
SCIENCES
(MSASS)



HUMANITIES BUILDING

SCALE – BELLFLOWER LOOKING WEST

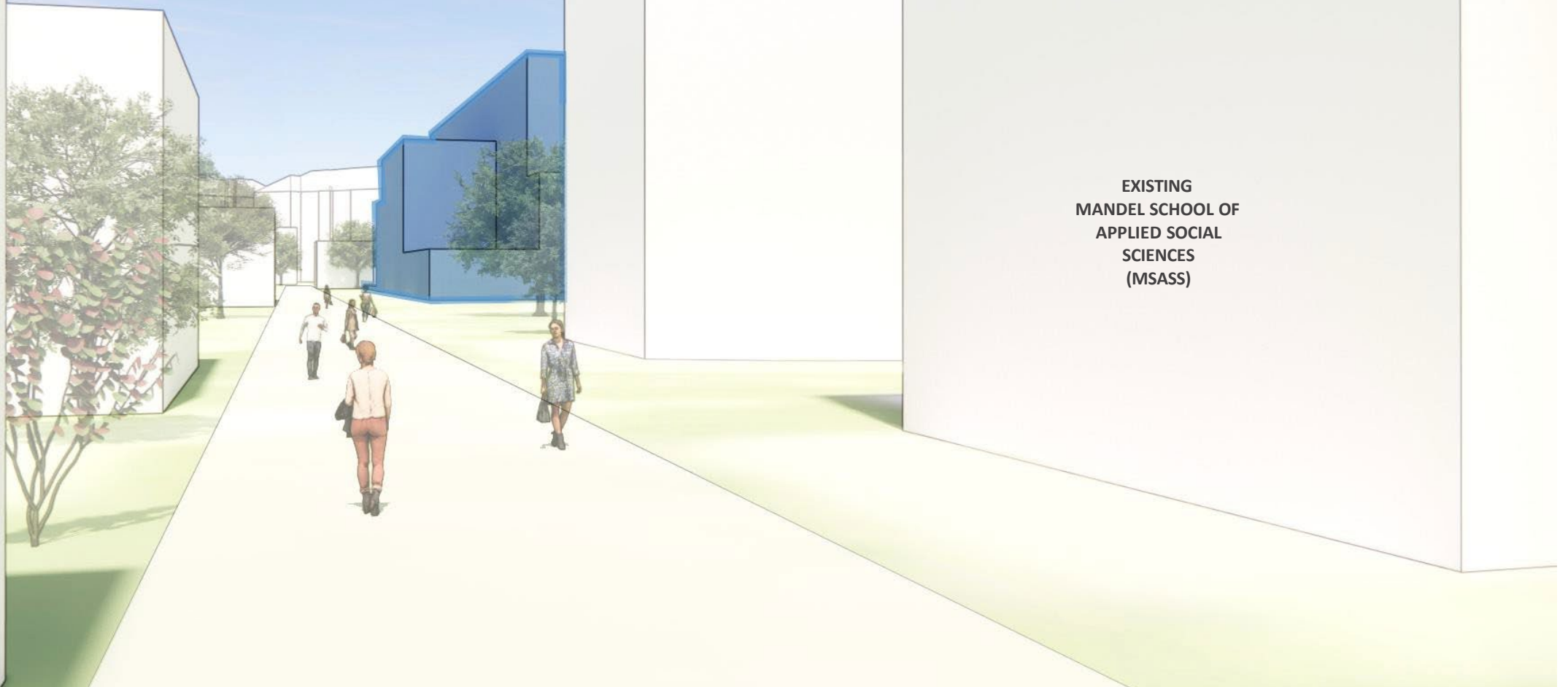


EXISTING
MANDEL SCHOOL
OF APPLIED
SOCIAL SCIENCES
(MSASS)

HUMANITIES BUILDING

SCALE -

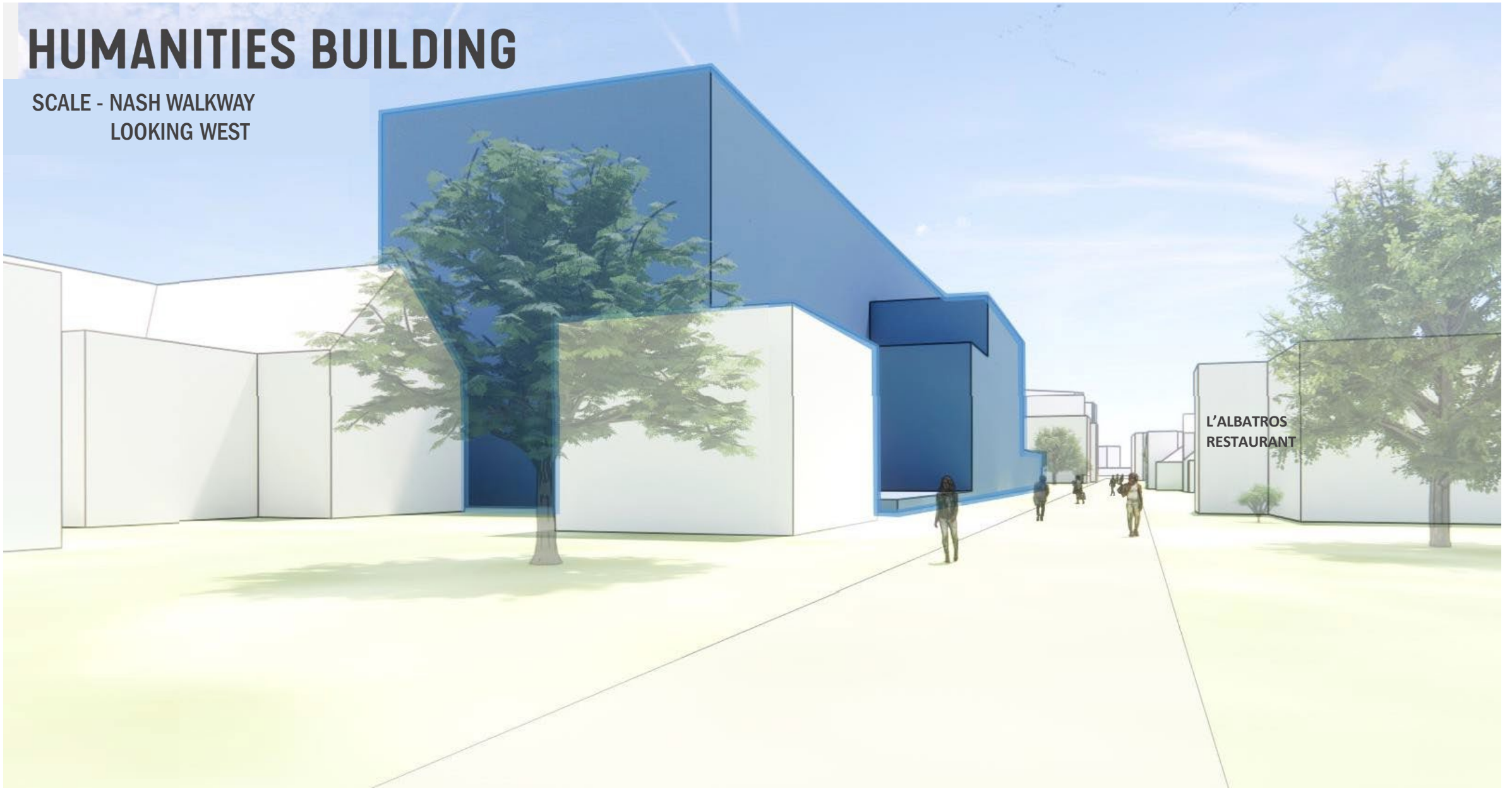
NASH WALKWAY
LOOKING WEST



EXISTING
MANDEL SCHOOL OF
APPLIED SOCIAL
SCIENCES
(MSASS)

HUMANITIES BUILDING

SCALE - NASH WALKWAY
LOOKING WEST



L'ALBATROS
RESTAURANT

THANK YOU.

QUESTIONS?



CASE WESTERN RESERVE
UNIVERSITY

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

ECB2024-014 – Proposed Demolition of a 1 ½-Story Residential Structure: Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

August 2, 2024

Project Address: 11333 Bellflower Avenue

Project Representative: Michael Bruder, CWRU

11333 BELLFLOWER ROAD (WARD 9) Existing Building Demolition

Cleveland Planning Commission Meeting
August 2, 2024



CASE WESTERN RESERVE
UNIVERSITY

Long Term Vision for the Site

- CWRU purchased the land and structure in 2022 from Lamda Chapter Corp. with the intent to develop the land for university programming
- CWRU's 10-year campus master plan (in progress) will guide future development
- Prominent site envisioned to be more than just a parking lot
- Site is envisioned to consolidate the university's humanities programs into a single 100-150k square foot facility

Our Commitment to Positive Redevelopment

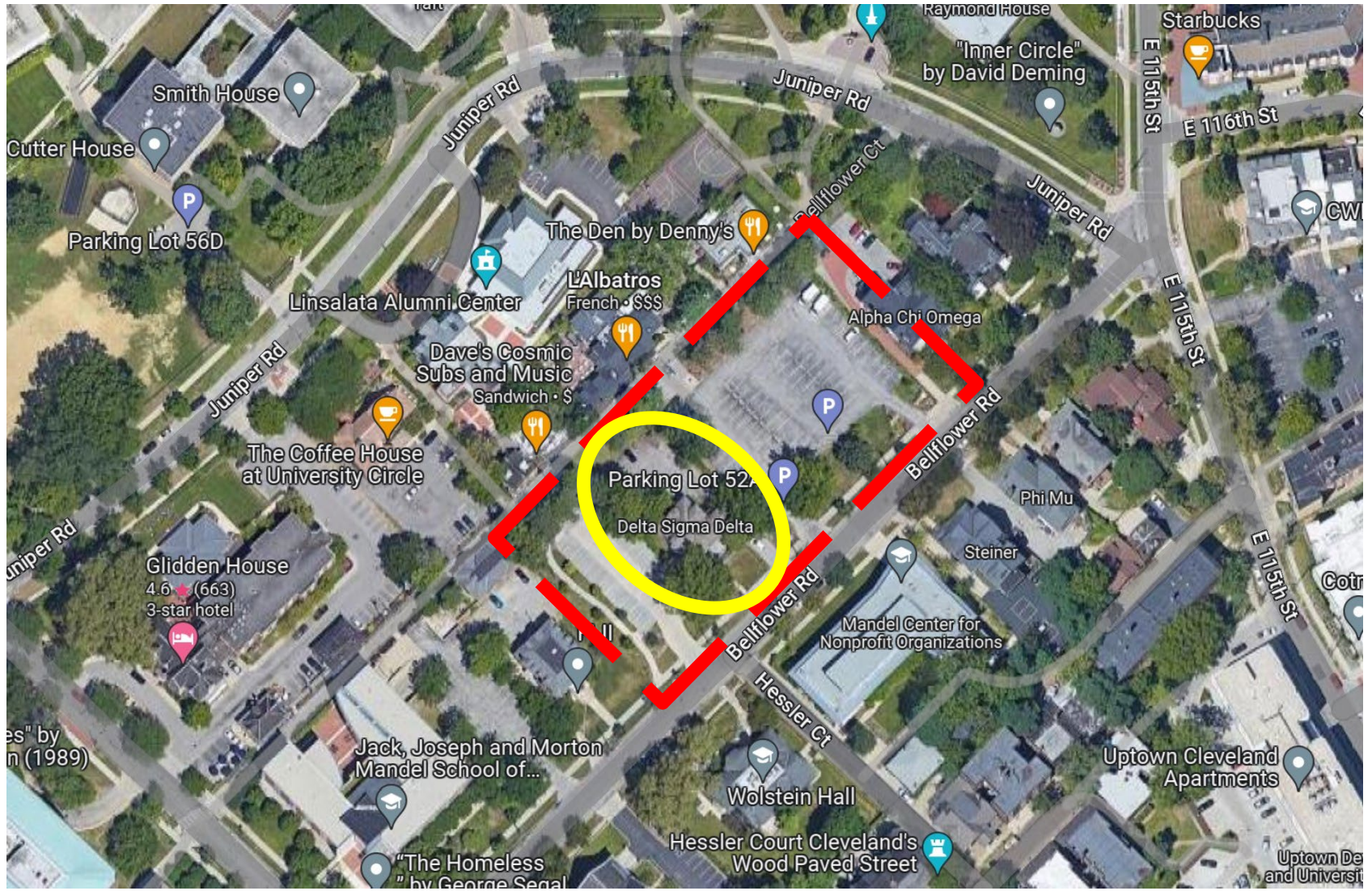
- Space for humanities programs are a high priority due to increasing enrollment and student needs
- CWRU is committed to the overall humanities project, but we are in the very early stages of development
- To date, CWRU has invested over \$100k in programmatic and conceptual design for a humanities building on this site

Existing Structure at 11333 Bellflower Rd

- Requesting CPC approval to demolish existing structure
- Former fraternity house has been unoccupied since 2022 and is in a dilapidated state
- Current condition was caused through neglect by previous owner (CWRU cleaned-out, abated, and boarded-up for safety)
- Building's prominent location (across from our Admissions Center) reflects poorly on the campus and the city

Existing Structure at 11333 Bellflower Rd

- Structure is not historical/local landmark, nor is it in a historic district
- No economic viability for rehabilitation
 - Minimal square footage, no ADA accessibility, no need for this type of 'housing' space, and major costs to bring up to code
- Letters of support from Council President Blaine A. Griffin, Ward 9 Councilman Kevin Conwell, and Bellflower resident George Forbes





BELLFLOWER FACADE



EAST FACADE



WEST FACADE



REAR (NORTH) FACADE



REAR ENTRY



THANK YOU.

QUESTIONS?



CASE WESTERN RESERVE
UNIVERSITY

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024



CITY OF CLEVELAND
Mayor Justin M. Bibb

Euclid Corridor Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: MidTown Cleveland Offices located at 5000 Euclid Ave.

Case Number: EC 2023-013

Meeting Date: 06/15/2023

Project Name: Delta Sigma Delta Building demolition

Project Address: 11333 Bellflower Road

Contact Person: Joanne Brown

Architect/Contractor: _____

General Description: _____

Motion by Design Review Committee:

Disapproved

Approve:

Disapprove:

Abstain:

Non-Voting Members:

Motion for disapproval: Holland Second: Pace

Voting members in favor: Rothenberg, Augoustidis, Holland, Madison, Pace, Trotta, Sargeant

Abstain: Brown

Non-voting present: Scott, Provolt



CITY OF CLEVELAND

Office of the Council

www.clevelandcitycouncil.org

Kevin Conwell COUNCIL MEMBER, WARD 9

COMMITTEES: Health, Human Services & the Arts - *Chair* • Finance, Diversity, Equity & Inclusion • Operations • Rules

July 29, 2024

Lillian Kuri
Chair
Cleveland Planning Commission
601 Lakeside Avenue
Room 501
Cleveland, Ohio 44114

Dear Chairwoman Kuri,

I write to you in support of Case Western Reserve's request to tear down the building located at 11333 Bellflower Road. I have had the opportunity to see the building up close and it is in terrible condition. One of my primary concerns as a Councilman is for the safety and wellbeing of my constituents. Vacant buildings, as we have seen time and again, pose a significant safety risk to the neighborhood. I regularly walk and drive my ward to ensure that young people have safe walking routes to school and when I encounter vacant and abandoned buildings, I work quickly with Building and Housing to make sure those buildings are either secured or razed. Whether it be from criminals looking to vandalize or worse, rodents and other animals taking up residence, vacant building cause problems.

It is my understanding that Case is planning to build on this site in the near future. With that being the case, I would much rather the building be razed now instead of waiting until they are ready to build the new building. There is no sense in having another building sit vacant unnecessarily.

If you have any questions, comments, or concerns, please contact my office at (216) 664-4252 or at kconwell@clevelandcitycouncil.org.

Sincerely yours,

Kevin Conwell
Cleveland City Councilman, Ward 9

July 26, 2024

Cleveland Planning Commission
601 Lakeside Avenue
Room 501
Cleveland, Ohio 44114

Dear Planning Commission Members:

I would like to express my support for the demolition of the former Dental Fraternity Building located at 11333 Bellflower Road. As the only single-family homeowner on the street, I have a unique perspective and interest, and having lived here since the late 1980s, I have witnessed a lot of change on the street over the years.

I enjoy living on the Case Western Reserve Campus and appreciate the investments and enhancements that the University has made on Bellflower. In my time of living on the street, I have witnessed the construction and later renovation of the Mandel School Building, the construction of the Peter B. Lewis Building and the Mandel Center building. They have created more green space in the area where the old Cinematheque used to be. And they have maintained and preserved many of the older houses on the street, converting them into usable building the fit the University's needs.

These additions and renovations have positively contributed to the aesthetics of the street and have made my time living on the street enjoyable. The exception to the beauty of the street however is the former Dental Fraternity building. The building had long been neglected when it served as the fraternity house and is a complete eyesore and blight on the street. In the short term, I would much rather see an expanded parking lot than the current ugly building that exists today. It is my understanding that the University plans to build on that site in the near future so it makes sense to just tear the building down now.

Thank you for your consideration.

Sincerely,

George Forbes
Resident
11430 Bellflower Road



Blaine A. Griffin PRESIDENT OF COUNCIL

COUNCIL MEMBER, WARD 6

COMMITTEES: Finance, Diversity, Equity & Inclusion - Chair • Rules - Chair • Mayor's Appointments • Operations

July 26, 2024

Cleveland Planning Commission
601 Lakeside Avenue
Room 501
Cleveland, Ohio 44114

Dear Planning Commission Members:

I would like to express my support for the demolition of the former Delta Tau Delta building at 11333 Bellflower Road. The property is adjacent to Ward 6 and sits directly across the street from the CWRU Admissions office. Having a vacant building in poor condition directly across the street from where prospective students and parents have their first encounter with the University does not send a good first impression. We want to be supportive of the University's efforts to recruit the best and brightest to Cleveland and having that building there does not help with that goal.

Additionally, I am in support of the University's intention to construct a new building to house their Humanities program. The original location that was considered for this building was at the park like green space know as East Bell Commons. I think that it works better, from a community perspective, to maintain that space as a green space and to instead build where the vacant building sits.

I hope that the Planning Commission will approve the request to raze the building at 11333 Bellflower.

Sincerely,

Blaine A. Griffin
Council President
Cleveland City Council

Dear Cleveland City Planning Commission,

I'm writing with regards to 11333 Bellflower Road. I'd like to kindly request that you don't approve demolition of this grand home in the former Wade Park Allotment for a surface parking lot. We've seen too many examples of demolition with intentions to develop result in surface parking lots which remain parking lots for decades.

Should the Humanities Center come to fruition, please, please, please, remove street parking from around the exit off of Hessler Court on Bellflower Road. Daylighting the intersection of Hessler Court and the Humanity Center's proposed drive aisle for their surface parking lot (to the west of the building) will be crucial for the safety of pedestrians and drivers.

At this time, leaving Hessler Court onto Bellflower is treacherous for both pedestrians crossing Hessler Court and for drivers. Cars parked on the south side of Bellflower, on either side of Hessler Court make visibility horrendous. This coupled with the abundant pedestrian traffic between students' classes, makes this intersection very dangerous.

I've included a photo with the yellow highlighting showing the sidewalk that's heavily traversed by students and a red circle, where intersection daylighting should be implemented and enforced.

Thank you for your service and your attention to my concerns. Please be in touch with any questions.

Sincerely,

Laura Cyrocki
Hessler Neighborhood Association, President

Cleveland City Planning Commission

Special Presentations– Public Art



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

Western Avenue Mural: Seeking Final Approval

August 2, 2024

Location: 10516 Western Avenue

Presenter: Bob Buttriss, Cleveland Renovation

Western Avenue Mural Project Summary

Overview

The proposed project aims to transform the western exterior facade of 10516 Western Avenue into a vibrant canvas that might elevate the Cleveland neighborhood community spirit through a large-scale mural. This initiative not only seeks to beautify the industrial landscape but also to foster a sense of beauty and pride among residents and visitors alike.

Concept

The mural will be a collaborative effort between local artists and community members, drawing inspiration from The Cudell neighborhoods rich history, diverse demographics, and a desire enhance our surroundings. The design will incorporate elements that bring a serene beauty the city while paying homage to its historical significance and community spirit.

Artistic Vision

Utilizing a blend of tranquil colors and artistic detailing, the mural will capture the essence of a new dawn with endless possibilities that may express themselves through cultural diversity, environmental sustainability, and community symbolizing unity and progress.

Execution

The mural will be created using, a high-quality waterborne urethane modified acrylic primer, Latitude exterior latex paint and anti-graffiti coating to ensure longevity and minimal maintenance. Local artists have collaborated closely with community members to refine the design and ensure it resonates with the public.

Impact

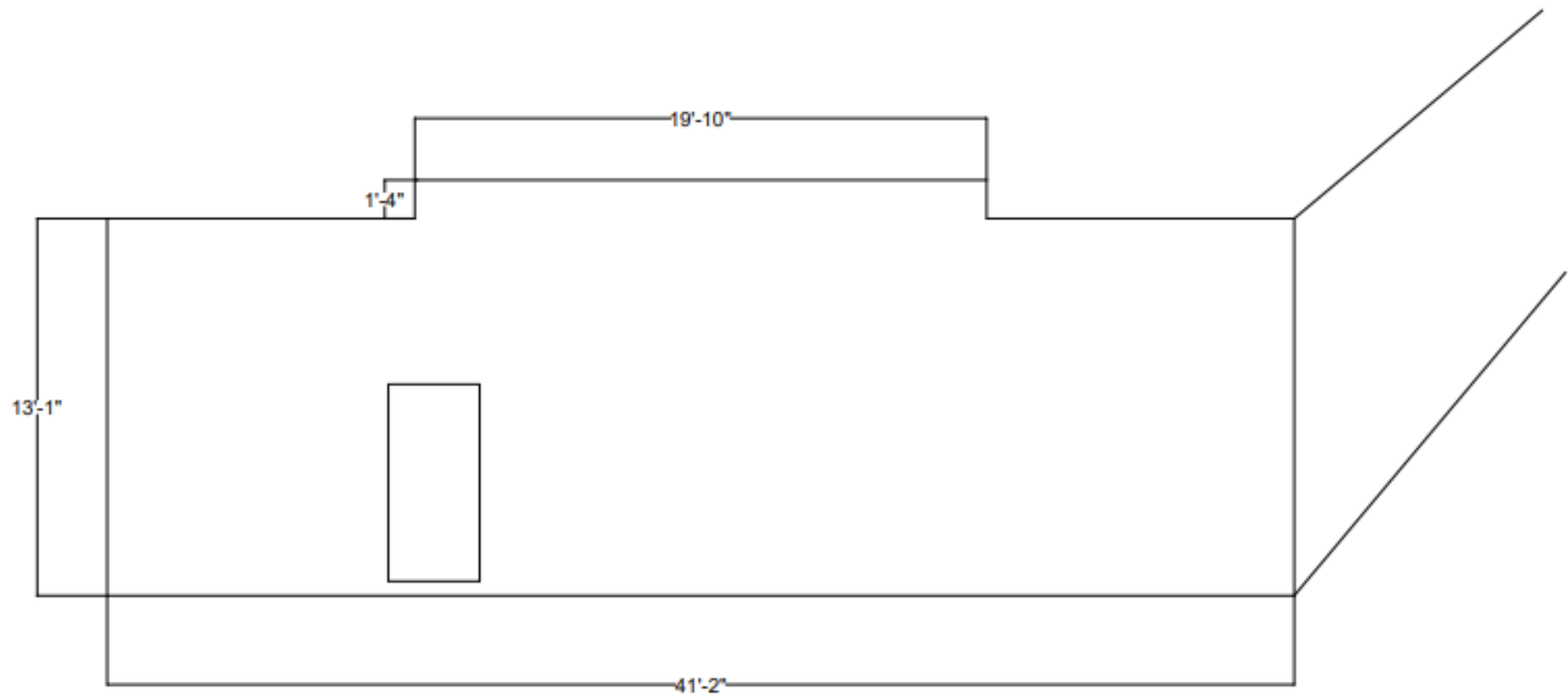
Beyond its aesthetic appeal, the mural aims to stimulate dialogue and inspire civic engagement. By transforming an ordinary structure into a work of art, the project seeks to foster a stronger sense of peace and encourage public interaction, making Art-Craft Studios a landmark that residents can proudly identify with.

Timeline and Logistics

The project timeline spans four weeks and is to begin as soon as possible after design approval, necessary permits and logistical arrangements will be coordinated with local authorities and property owners to ensure smooth execution.

Conclusion

In conclusion, the artistic mural installation on the Art-Craft Studios building represents a collaborative effort to enhance urban aesthetics, celebrate cultural diversity, and promote community pride. Through this transformative project, we envision a lasting legacy that enriches the fabric of the Cudell neighborhood and inspires future generations.







1'-4"





Cleveland City Planning Commission

Special Presentations



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024



CITY OF CLEVELAND
Mayor Justin M. Bibb

City of Cleveland

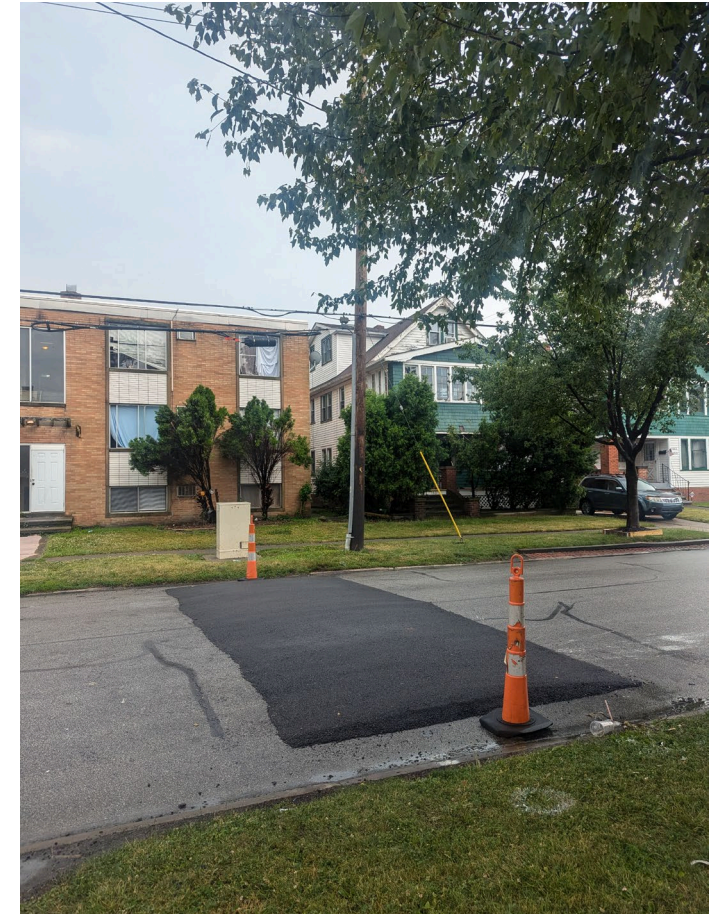
Cleveland Moves

*5-year Multimodal Transportation Plan
July 2024 Update*



We're working to make it safer, more convenient, and more comfortable to get around Cleveland

- **Committed to Vision Zero (2022)**
- **Expanded our mobility team**
- **Awarded SS4A and other funding**
- **Advancing designs for both the Superior and Lorain Midway**
- **Installing speed tables**
- **And more!**



Cleveland Moves - Cleveland's 5-year transportation plan - will:

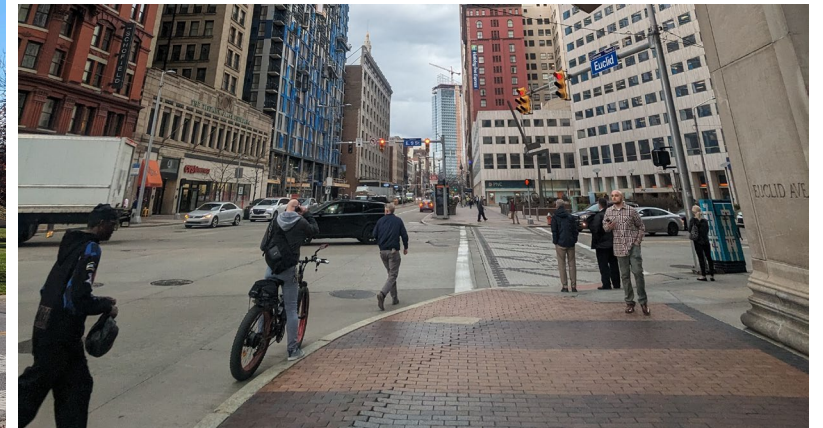
1. **Update the 2007 Bikeway Master Plan to recommend a connected bike network for riders of all ages and abilities for 3-year rapid implementation**
2. **Take a deep dive into bicycle and pedestrian safety issues to identify priority investments to make walking and rolling safer and more comfortable for everyone**
3. **Review existing programs and policies and address gaps related to walking, rolling, and riding bikes**
4. **Develop the look and feel of the Midway Bikeway Network**
5. **Integrate ongoing projects and new recommendations into a 5-year prioritization and implementation plan**



We need your help to get this right

This summer, we'll be in the community listening to the experiences of Clevelanders. We'll attend community festivals, meetings, and concerts and pop-up at local grocery and convenience stores.

We will share recommendations in the fall, and finalize our new plan in early 2025.



Visit www.clevelandohio.gov/cleveland-moves
to learn more and share your experiences

- **Add to our interactive map**
- **Sign up for email updates**
- **Follow our progress**



Cleveland City Planning Commission

Administrative Approvals



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

Ordinance No. 716-2024 (Introduced by Councilmembers Kazy and Griffin – by departmental request): Determining the method of making the public improvement of repairing and improving the filters at the Nottingham Water Treatment Plant; authorizing the Director of Public Utilities to enter into one or more public improvement contracts to construct the improvement; and authorizing the director to employ one or more professional consultants necessary for the improvement.

August 2, 2024

Cleveland City Planning Commission

Director's Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024

Discussion: Citywide Plan

- **Citywide Plan discussion questions**

August 2, 2024

- Imagine Cleveland in the year 2040 – what's the look, feel and experience for residents? Are we managing decline or stable and growing?
 - What concerns do you have about Cleveland as we head toward the year 2040?
 - What are your recommendations on engaging with residents, community members and civic organizations?
 - How should the public utilize the Citywide Plan? What's the most useful format?
 - Other reflections on the plan as a visioning exercise and strategic plan?
-

Administrative Updates

- **Rules of the Planning Commission (governing policies update) – vote on ad hoc subcommittee chair and request volunteers**

August 2, 2024

City Planning Commission in the News – July 2024

- **Mayor Bibb's Executive Order: Permitting Process Improvements**
 - [Cleveland.com - Paper-based to digital: Mayor Justin Bibb aims to improve construction permitting in 2025](#)
 - [Crain's Cleveland - Five takeaways from Cleveland's plan to overhaul its permitting process](#)
 - [Axios - Building anything in Cleveland is about to get a lot easier](#)

- **Bedrock's Master Development Plan**
 - [Crain's Cleveland - Changes to riverfront plan include Tower City, Cuyahoga Valley Scenic Railroad depot](#)
 - [Cleveland.com - Whew! Bedrock and Cleveland wisely dump a troubling centerpiece idea from Cuyahoga riverfront plan](#)

- **Form-Based Code**
 - [Signal Cleveland - An FAQ on FBC \(form-based code\), a zoning reform plan under way in Cleveland](#)

August 2, 2024

Shore-to-Core-to-Shore Updates

- The Bedrock Master Development Plan will be posted on the City of Cleveland and City Planning websites. All public comments are due by Friday, September 13, 2024.
- August 5 Lakefront Future Forum event from 4:00–7:00 PM, Mall C

August 2, 2024

Cleveland's North Coast

FORO SOBRE EL FUTURO DE LA COSTA LACUSTRE

Únanse al alcalde Bibb y su equipo por una puesta al día festiva. Todos son bienvenidos a este evento gratuito, público en el centro de Cleveland para continuar visualizando la costa del lago del futuro. Escuchen a un panel de expertos y participe con su aporte sobre las actualizaciones sobre el Conector de la costa norte y el Plan maestro de la costa norte en las estaciones interactivas.

También infórmese sobre la nueva Autoridad de desarrollo de la zona costera norte y registre sus recuerdos del Lago Erie mientras disfruta de las vistas del lago, comida y buenos momentos.

Cuándo 5 de agosto de 4 a 7 p.m.
El panel comienza a las 4:30 p.m.

Dónde Centro comercial C (junto a la Alcaldía en la avenida Lakeside en el centro de Cleveland)

Inscríbese



clevelandnorthcoast.com



CUY – North Coast Connector PID 115542

CITY OF CLEVELAND Mayor Justin M. Bibb

Cleveland's North Coast

克里夫兰北湖岸

湖滨未来论坛

参加毕博 (Bibb) 市长及其团队提供的最新进展报告

欢迎所有人参加在克里夫兰市中心举办的此次免费公众活动，继续畅想湖滨的未来。聆听专家小组的发言，然后在互动平台上分享您对北湖岸连接陆桥 (North Coast Connector) 和北湖岸总体规划 (North Coast Master Plan) 进展的看法。

还可以了解新成立的北湖岸滨水开发局 (North Coast Waterfront Development Authority)，并在欣赏湖景、享受美食和美好时光的同时记录您关于伊利湖的回忆。

时间 8月5日，下午4点至7点
专家小组讨论将于下午4:30开始

地点 Mall C (克里夫兰市中心湖畔大道 [Lakeside Avenue] 的市政厅隔壁)

注册



clevelandnorthcoast.com



CUY – North Coast Connector PID 115542

CITY OF CLEVELAND Mayor Justin M. Bibb

Cleveland's North Coast

Cleveland's North Coast

LAKEFRONT FUTURE FORUM

Join Mayor Bibb and Team for a Festive Update

Everyone is welcome to this free, public event in Downtown Cleveland to continue to envision your future lakefront. Listen to a panel of experts and provide your input on updates to the North Coast Connector and the North Coast Master Plan at interactive stations.

Also learn about the new North Coast Waterfront Development Authority and record your Lake Erie memories while enjoying lake views, food and good times.

When August 5, 4 to 7 p.m.
Panel starts at 4:30 p.m.

Where Mall C (next to City Hall on Lakeside Avenue in Downtown Cleveland)

Register



clevelandnorthcoast.com



CUY – North Coast Connector PID 115542

CITY OF CLEVELAND Mayor Justin M. Bibb

Cleveland's North Coast

Cleveland City Planning Commission

Adjournment



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 2, 2024